


25/2018/1216 & 25/2018/1217

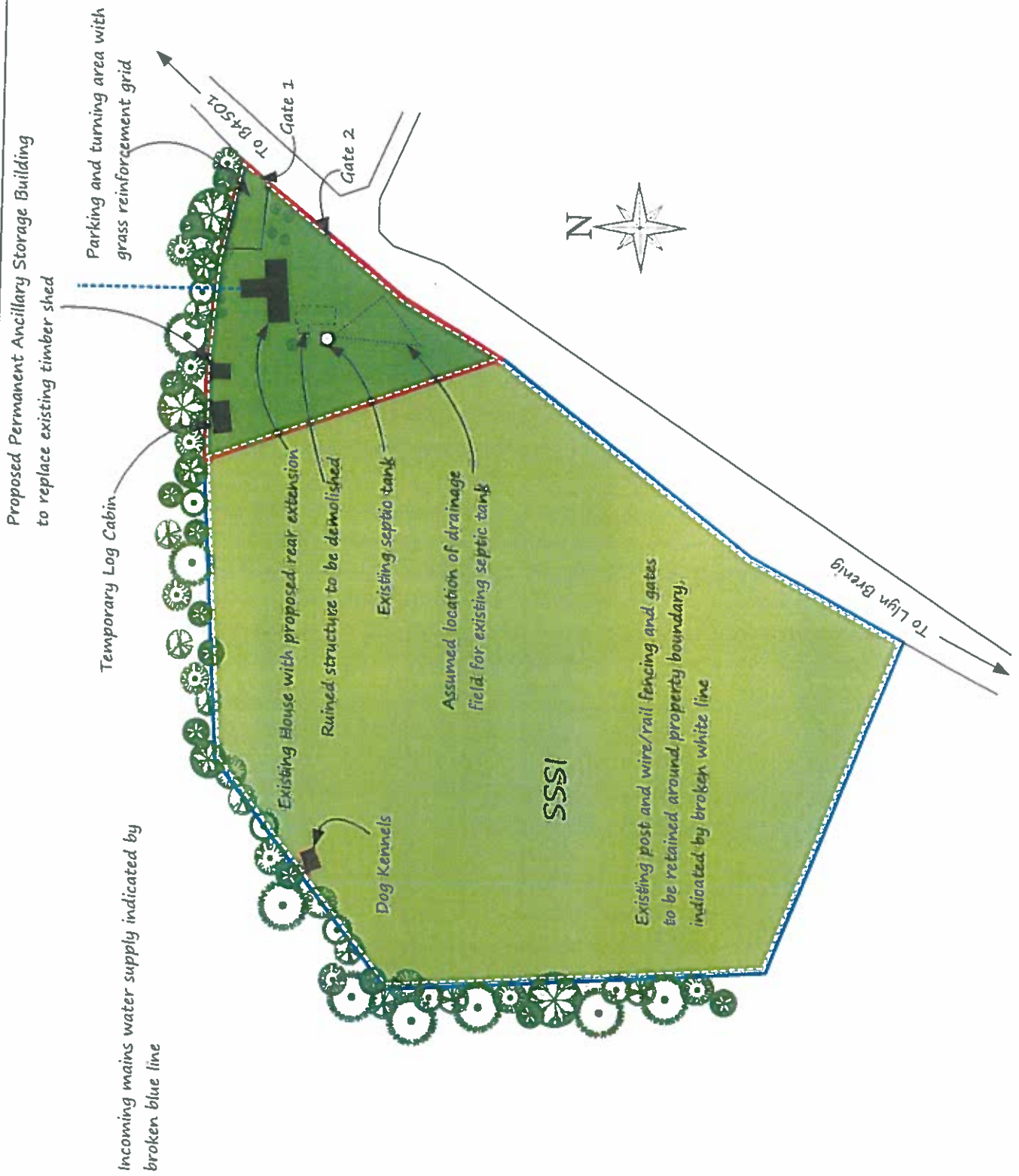
Scale: 1:25000

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# GENERAL ARRANGEMENT PLAN

	<b>Project</b> Bwlch Du
<b>Author</b> LNJ	<b>Checked By</b> TJN
<b>Drawing Description</b> General arrangement of buildings, landscaping and amenity areas	
<b>Drawing Number</b> DWG 1-9 V2	
<b>Date</b> 7th April 2019	<b>Scale</b> 1:1250 @ A4





# BWLCH DU PROPOSED FLOOR PLAN

	Project	Bwlch Du
	Author	LNJ
	Checked by	TJN
	Drawing Description	Bwlch Du Floorplan As Proposed
	Drawing Number	DWG10V2
	Date	5th April 2019
	Scale	1mm:50mm @ A3

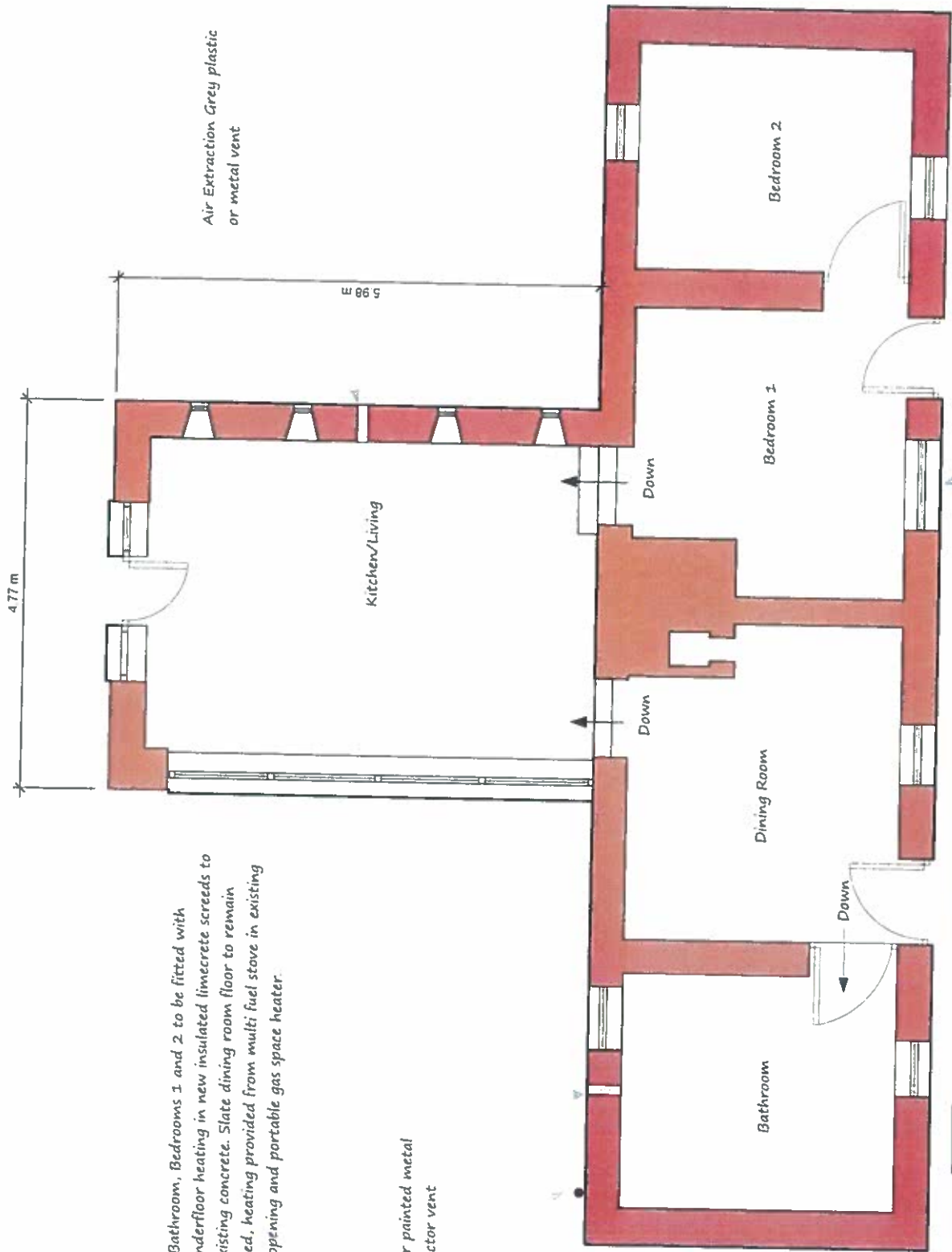


Floorplan As Proposed

*Kitchen, Bathroom, Bedrooms 1 and 2 to be fitted with electric underfloor heating in new insulated limecrete screeds to replace existing concrete. Slate dining room floor to remain undisturbed, heating provided from multi fuel stove in existing fireplace opening and portable gas space heater.*

*Grey plastic or painted metal cover to extractor vent*

Cast Iron SVP



See DWG 12 for sash window details

8 Metres



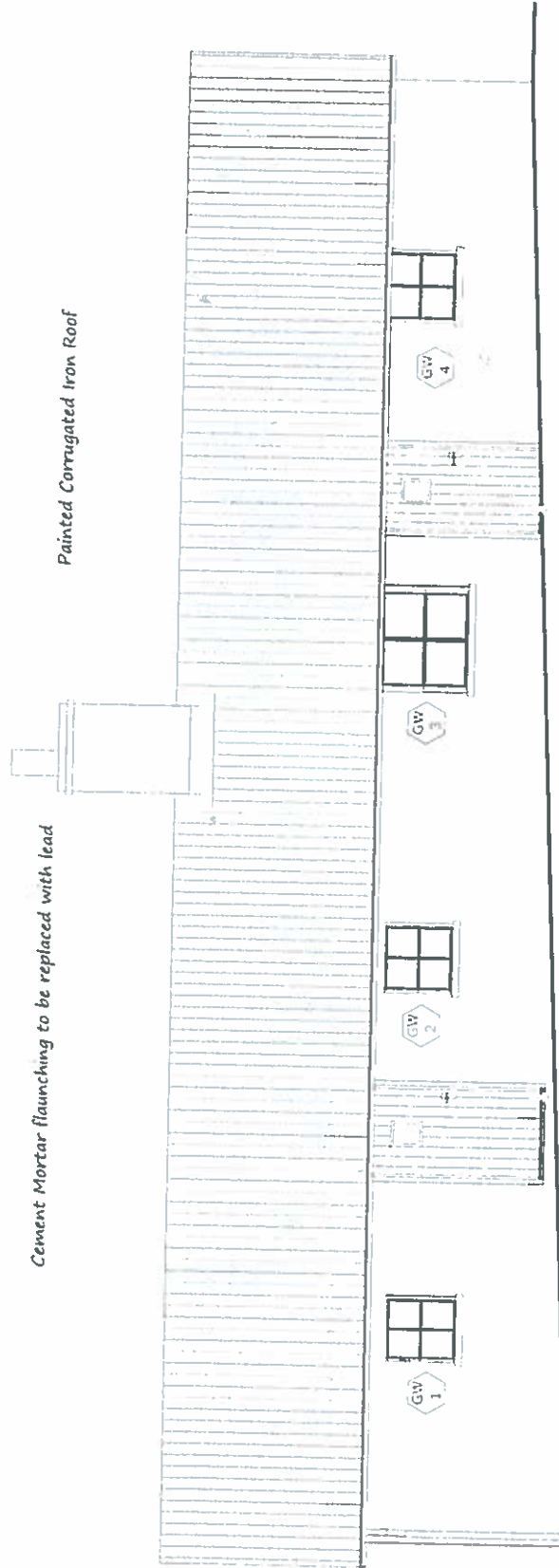


# BWLCH DU PROPOSED SOUTH ELEVATION

South Elevation As Proposed



Project	Bwlch Du
Author	LNJ
Checked by	TJN
Drawing Description	Bwlch Du South Eleva As Proposed
Drawing Number	DWG15V2
Date	5th April 2019
Scale	1mm 50mm @ A3



Cement Mortar flashing to be replaced with lead

Painted Corrugated Iron Roof

Cast iron gutters and downpipes to soakaways

Doors to be painted hardwood

Solid rubble masonry to be re-pointed where required with NHL 3.5/ sharp sand 1:3 all elevations to be given minimum 3 coats of lime wash.

Windows GW1 - 4 are to be painted hardwood frames, vertical sliding sashes with 12mm double glazed units, 6mm sightline, outer pane to be conservation grade glass.







# BWLCH DU PROPOSED NORTH ELEVATION

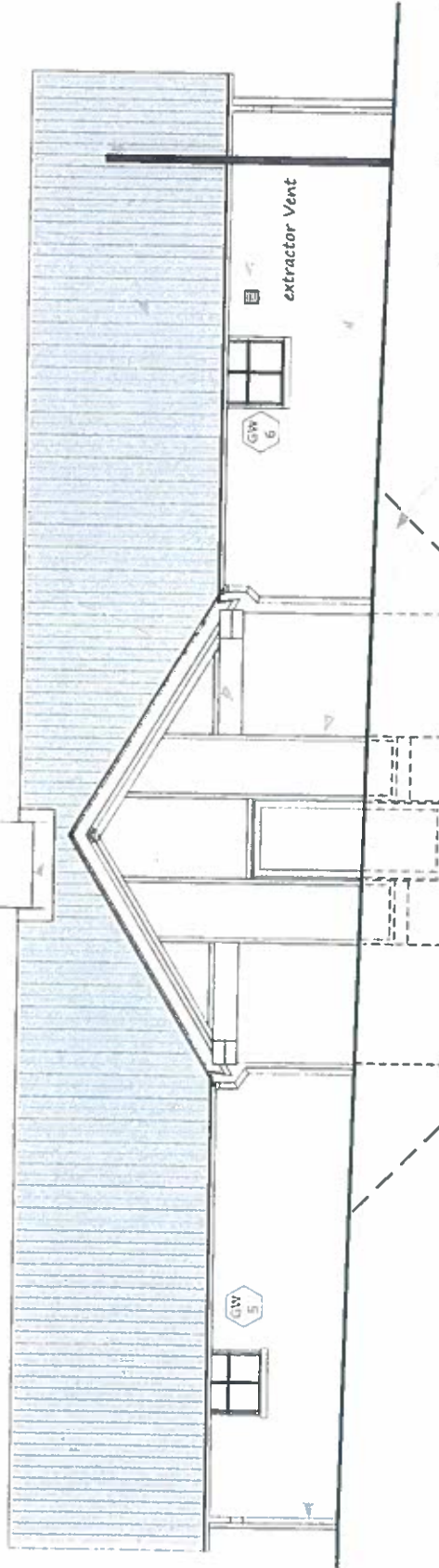
North Elevation As Proposed

All projecting masonry elements including, sills, heads, gable end kneeler stones to be new locally obtained limestone tooled finish.

Cement Mortar flashing to be replaced with lead

Painted Corrugated Iron Roof

SVP



Cast iron gutters and downpipes to soakaways

Windows GW5 and GW6 are to be painted hardwood frames, vertical sliding sashes, with 12mm double glazed units, 6mm sightline, outerpane to be conservation grade glass.

Ground excavated to facilitate lowered extension roof line. Perimetre path around extension to be finished with limestone chippings, perforated drainage pipes to be installed, these to discharge to the south of the house, details to be agreed on site and in consultation with NRW.

Solid rubble masonry to be re-pointed where required with NHL 3/5/ sharp sand 1:3 all elevations to be given minimum 3 coats of lime wash.

Base of wall may require consolidating where ground has been excavated, precise details to be subject engineers inspection and report, and agreement with DCC Conservation Officer.

Extension to include thermally broken powder coated aluminium frame with double or triple glazed units



0 1 2 4 8 Metres



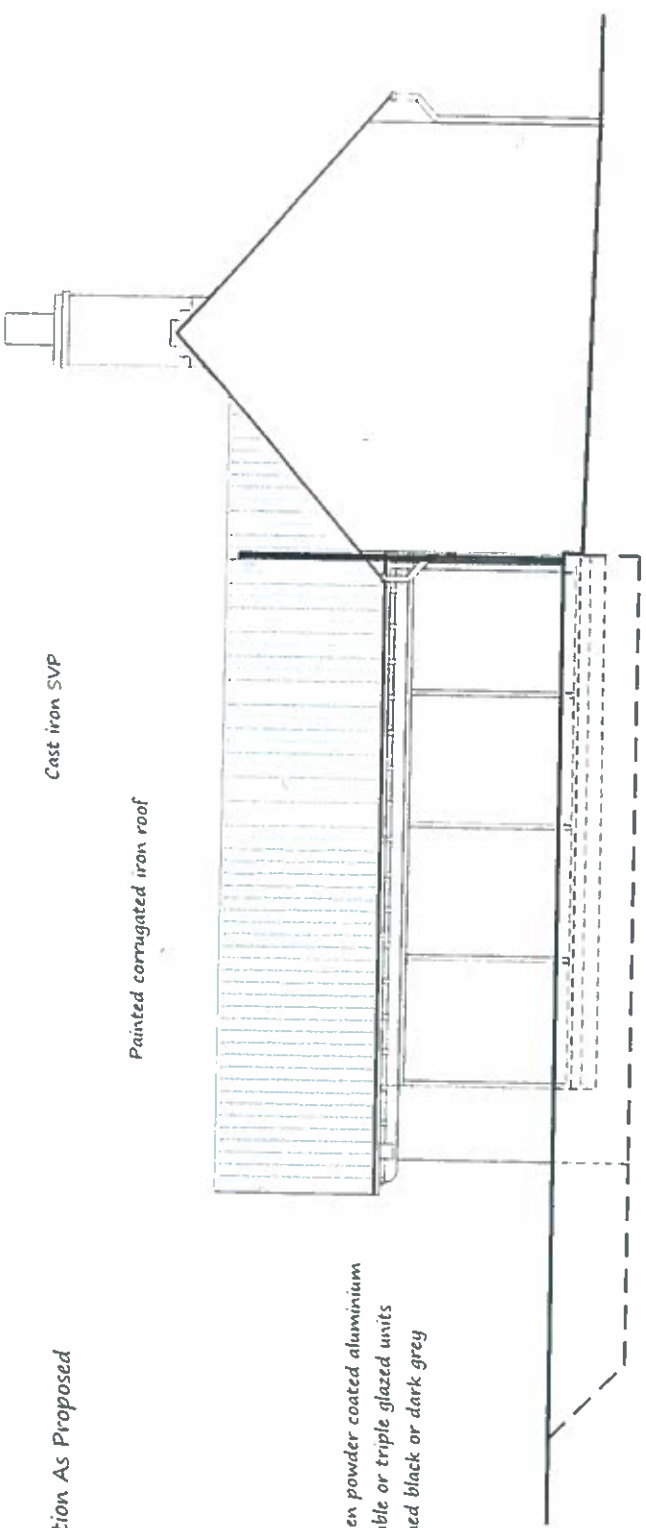
Project	Bwlch Du
Author	LNJ
Checked by	TJN

Drawing Description	Bwlch Du North Elevati As Proposed
Drawing Number	DWG14V2
Date	5th April 2019
Scale	1mm:50mm @ A3



# BWLCH DU PROPOSED WEST AND EAST ELEVATION

Project	Bwlch Du
Author	LNJ
Checked By	TJN
Drawing Description	Bwlch Du West and East Elevations As Proposed
Drawing Number	DWG1-SV2
Date	5th April 2019
Scale	1mm 50mm @ A3

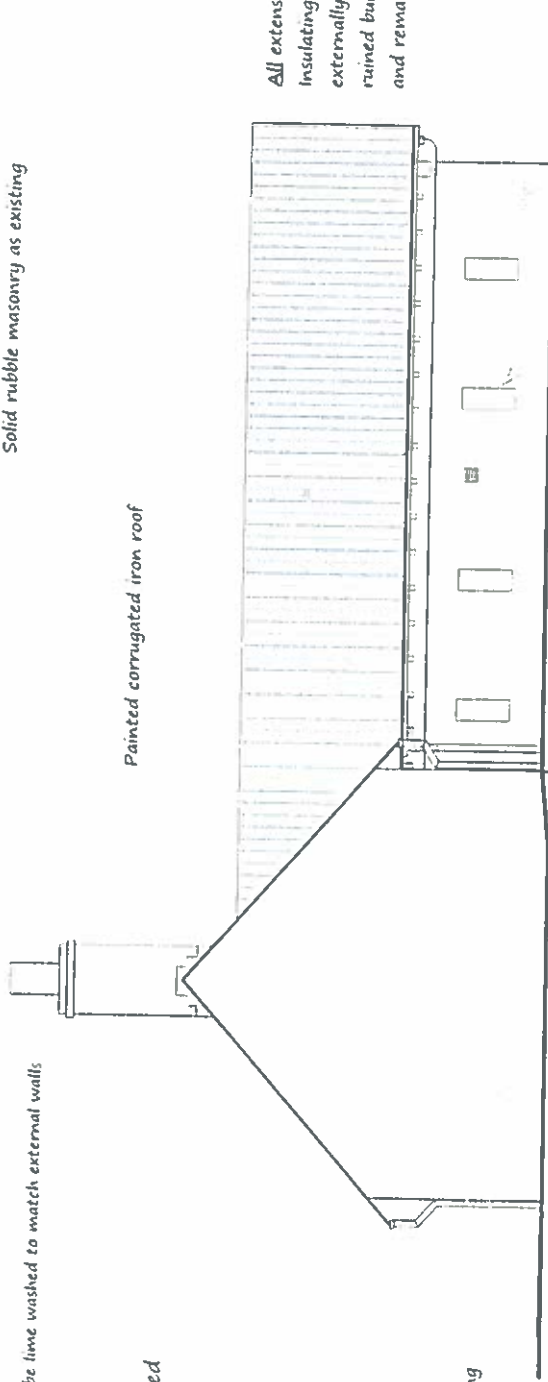


West Elevation As Proposed

Thermally broken powder coated aluminium frame with double or triple glazed units frames to finished black or dark grey

Solid rubble masonry as existing

Chimney to be lime washed to match external walls



East Elevation As Proposed

Solid rubble masonry as existing

All extension walls constructed from Insulating block, solid rubble masonry externally to be salvaged from ruined building to south of property and remain unpainted

Frameless double glazed units bonded directly into masonry openings



8 Metres

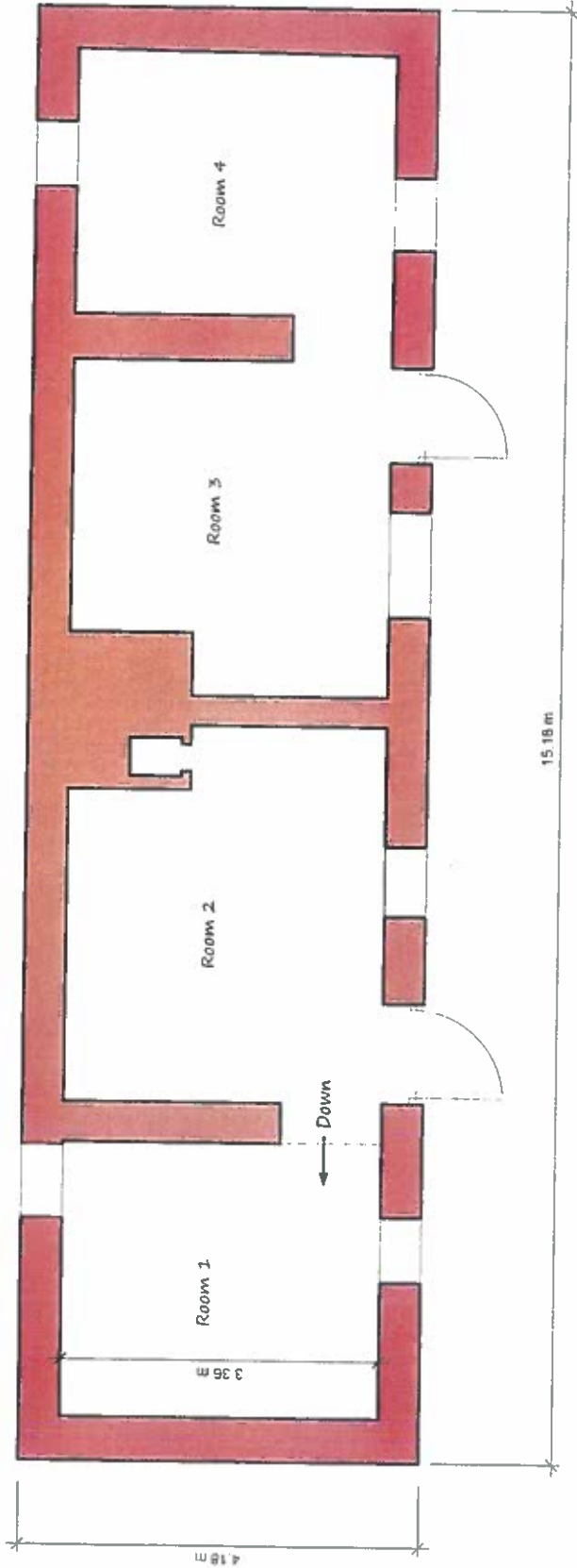


# BWLCH DU EXISTING FLOOR PLAN



Project	Bwlch Du
Author	LNJ
Checked/IA	TJN
Drawing Description	Bwlch Du Floorplan AS Existing
Drawing Number	DWG1
Date	23rd November 2018
Scale	1mm:50mm @ A3

Bwlch Du Farmhouse Floorplans As Existing





South Elevation AS Existing

Cement mortar flaunching at base of chimney

Corrugated Asbestos Roof

Guttering and downpipes absent



Solid Rubble Masonry

Modern boarded windows and doors



Project	Bwlch Du
Author	LNJ
Checked by	TJN

Drawing Description	Bwlch Du South Elev AS Existing
Drawing Number	DWG2
Date	23rd November 201
Scale	1mm:50mm @ A3

# BWLCH DU EXISTING SOUTH ELEVATION





# BWLCH DU EXISTING NORTH ELEVATION

Project	Bwlch Du
Author	LNJ
Checked by	TJN

Drawing Description	Bwlch Du North Elevation As Existing
Drawing Number	DWG3
Date	23rd November 2018
Scale	1mm:50mm @ A3

North Elevation As Existing

Cement mortar flashing at base of chimney

Guttering and downpipes absent

Corrugated Asbestos Roof



Solid Rubble Masonry

Modern boarded windows

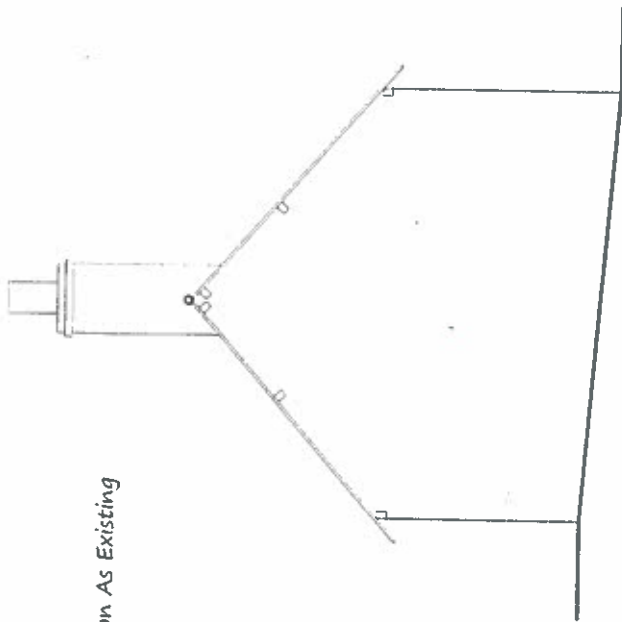




# BWLCH DU EXISTING WEST AND EAST ELEVATION

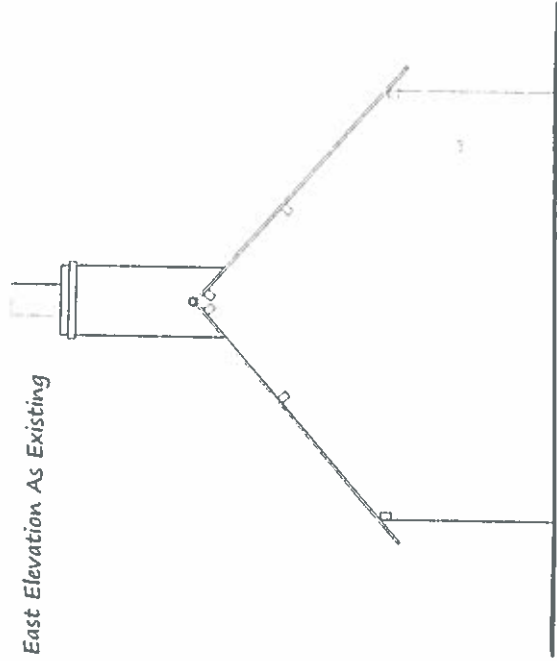


Project	Bwlch Du
Author	LNJ
Checked by	TJN
Drawing Description	Bwlch Du West and East Elevations As Existing
Drawing Number	DWG4
Date	23rd November 2018
Scale	1mm:50mm @ A3



West Elevation As Existing

Solid Rubble Masonry



East Elevation As Existing

Solid Rubble Masonry





**WARD :** Llanrhaeadr Yng Nghinmeirch

**WARD MEMBER:** Councillor Joseph Welch (c )

**APPLICATION NO:** 25/2018/1217/LB

**PROPOSAL:** Alterations and rear extension to existing building, and demolition of curtilage structure (Listed Building application)

**LOCATION:** Bwlch Du Nantglyn Denbigh

**APPLICANT:** Miss Ashley Trengove

**CONSTRAINTS:** Listed Building

**PUBLICITY UNDERTAKEN:** Site Notice - Yes  
Press Notice - Yes  
Neighbour letters - No

**REASONS APPLICATION REPORTED TO COMMITTEE:**

**Scheme of Delegation Part 2**

- Member request for referral to Committee
- Referral by Head of Planning / Development Control Manager

**CONSULTATION RESPONSES:**

NANTGLYN COMMUNITY COUNCIL –  
“No objection”.

**CONSERVATION OFFICER –**

Original comments

Expressed support for the proposal to renovate the listed building and proposals in general but raised concerns regarding the following items;

- ‘1) The existing fireplace and bread oven is an important feature of the building and needs to be retained as existing. I strongly object to any alterations to the structure and fabric and suggest an alternative means of access is made from the new extension to the other side of the building.
- 2) The large dog kennel is sited a fair distance from the property in the adjacent field within the SSSI area and in my opinion unacceptably stands out with the design and materials not being appropriate for the surrounding area. I would suggest siting the kennel within the curtilage of the property in the least prominent location at the rear and painted in a suitable colour to blend in
- 3) The log cabin, solar panels, shed and wind turbine will need a condition stating the time period these structures are allowed to be retained on site as currently they are detrimental to the setting of the listed building and surrounding area. I object to them being on site but will be agreeable to temporary siting for a relatively short period of time for the reasons given in the application.’

**Comments on revised plans**

Confirms that there is no objection subject to the amended plans and the removal of the dog kennels from the scheme.

In relation to the derelict outbuilding, notes it was the preference to retain the remains and consolidate the walls of the outbuilding but if a future application is submitted (as has been suggested) to rebuild the structure to its original form and appearance, would be supportive of this proposal in principle subject to approval of details.

**CLWYD POWYS ARCHAEOLOGICAL TRUST –**

Note that the barn structure is proposed to be completely removed and object to this as it was an integral part of the curtilage of the cottage buildings along with another wholly demolished barn to the south, both of which are visible on the first and second edition OS mapping. The ruinous walls could usefully be lowered and retained as a stub wall to represent the original outline of the barns. The interior may include a flag floor which should be retained as e.g. a garden patio area with planters.

CADW –  
No objection.

SPAB (SOCIETY FOR THE PROTECTION OF ANCIENT BUILDINGS) –  
Object to the loss of internal features and demolition of the adjacent ruined barn.

**RESPONSE TO PUBLICITY:**

In support

Representations received from:

Helen Job, 2 Maes Garnedd, Peniel

Summary of planning based representations in support:

- (i) CPAT should reconsider their objections as their resistance to new doorways would render the house impossible to inhabit;
- (ii) If the property is not inhabited soon it will fall into complete dereliction.

**EXPIRY DATE OF APPLICATION: 12/03/2019**

**EXTENSION OF TIME AGREED: 21/06/2019**

**REASONS FOR DELAY IN DECISION (where applicable):**

- delay in receipt of key consultation response(s)
- additional information required from applicant
- protracted negotiations resulting in amended plans
- re-consultations / further publicity necessary on amended plans and / or additional information
- awaiting consideration by Committee

**PLANNING ASSESSMENT:**

**1. THE PROPOSAL:**

1.1 Summary of proposals

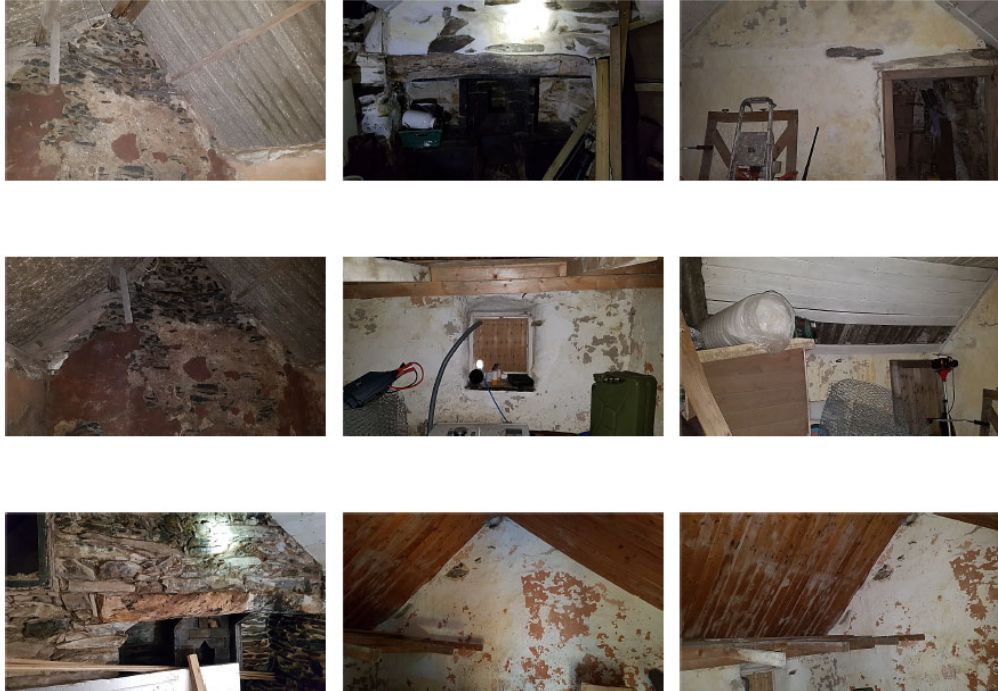
- 1.1.1 Members will recall that consideration of this listed building consent application relating to Bwlch Du was deferred at the July 2019 meeting of the Committee alongside the accompanying planning application (25/2018/1216), to permit scrutiny of significant information received prior to the meeting.
- 1.1.2 The application seeks listed building consent for the extension and alteration of Bwlch Du, which is a Grade II listed building, along with the demolition of the remains of a former barn structure.
- 1.1.3 The proposals, as revised following discussions with Council officers, would add a single-storey extension to the rear (north) of the building to accommodate a kitchen/living area, with the remainder of the building being laid out to provide two bedrooms, a bathroom and a dining room. The revised plans now seek to retain a central fireplace. The extension would utilise stonework/render and a painted corrugated iron roof to match the host building.
- 1.1.4 The rear extension would have a footprint of 6.0 metres by 4.8 metres, adding a floor area of 29 sq.m to the existing structure which has an existing floor area of 64 sq.m, thereby representing an increase in floor area of 45%.
- 1.1.5 The existing building has the remains of a former barn located to its southern side which is proposed to be demolished as part of the scheme. During discussions with the agent at a case officer site visit on 5 March 2019 it was confirmed that it was feasible to retain the base element of this former structure as some form of patio area

should it being considered prudent to do so by the Council, although no plans or details of how this could be achieved have been provided.

- 1.1.6 With regard to the previous application on the agenda relating to proposals for planning permission which involve consideration of issues of the use of the buildings and land, it should be noted that these are not for deliberation as part of the listed building consent. Considerations to be applied to application 23/2018/1217 have to be confined to the acceptability of the proposals to alter and extend the listed building and the demolition of the remaining barn structure. The determination of this application therefore has no bearing on the issues pertaining to the planning application.

1.2 Description of site and surroundings

- 1.2.1 The application site is located 4km south west of Nantglyn, adjacent to a road junction on the B4501, to the east of which lie the Brenig and Tir Mostyn wind farms. Llyn Brenig lies around 700m to the south west of the site.
- 1.2.2 The site slopes from the southern boundary up to the north where it abuts a ribbon of tree planting, with a farm building across the minor road to the east and an open field to the south west which slopes down towards Llyn Brenig.
- 1.2.3 The main existing building at Bwlch Du appeared to be in use for storage purposes at the time of the case officer site visit on 5 March 2019. It is a single-storey building with stonework walls and a pitched corrugated asbestos roof. The interior of the building was sub-divided into two rooms (one at each end) with a central fireplace/oven feature.
- 1.2.4 Photographs taken on 5 March 2019 of the interior of the building and the site are shown below:





### 1.3 Relevant planning constraints/considerations

- 1.3.1 As noted, Bwlch Du is a grade II listed building, described within the official Cadw listing as follows:

*History:*

*Late C18 or early C19 encroachment smallholding farmstead, built on the edge of the moors.*

*Exterior:*

*Long, single-storey small farmhouse of whitened rubble construction with corrugated asbestos roof, probably formerly thatched; modern purlins visible at the gable ends. The farmhouse is in two sections, a 2-window living section to the R and a 2-window brewhouse section to the L; a large central chimney divides the two. The latter has weather-coursing and C20 brick corning. C20 boarded doors, the brewhouse section flanked by small, plain late C19/early C20 sliding sashes and the main section with similar sash to the R and a larger 12-pane sliding sash to the L; projecting slate sills throughout.*

*Interior:*

*The interior was not inspected at the time of survey.*

*Reasons for Listing:*

*Listed for its special interest as a small late C18 or early C19 encroachment homestead in an isolated moorland location.*

### 1.4 Relevant planning history

- 1.4.1 The Development Management Section's recent records reveal the submission of applications in 2017 in relation to developments at Bwlch Du, which were not considered valid, and were not pursued by the applicants.
- 1.4.2 The current planning and listed building submissions were received in late December 2018.



- 1.4.3 An Enforcement Notice was served in 2018 in relation to breaches of planning control at the site including the timber cabin, the boundary fencing and gates, a wind turbine, an electrical plant storage shed, solar panels, a poultry shed and the kennel building. The Notice was the subject of an appeal in early 2019. This appeal was dismissed by the Planning Inspectorate in May 2019.

#### 1.5 Developments/changes since the original submission

- 1.5.1 Without prejudice to the deliberations or outcome of the planning application, the listed building proposals have been subject to extensive discussions with the original agent (Nicholson Price Associates) and the latest agents (Richard Buxton Solicitors, who were appointed on 15 May 2019), along with the applicant Ashley Trengove and her partner Dean Turner, who has also been authorised by the applicant to correspond on the case.
- 1.5.2 These discussions led to the submission of revised plans on 8 April 2019 which show the repositioning of the extension to allow the central fireplace to be retained.
- 1.5.3 Further information has been received throughout the period of the consideration of the case by the Council, which is referred to later in the report.

#### 1.6 Other relevant background information

- 1.6.1 None.

## 2. **DETAILS OF PLANNING HISTORY:**

- 2.1 25/2018/1216/FP - Alterations and rear extension to existing building, demolition of curtilage structure, erection of ancillary building, retention of log cabin (for temporary period), boundary fencing and gates, and provision of on-site parking and turning area: This application is the subject of the preceding report on the agenda.

## 3. **RELEVANT POLICIES AND GUIDANCE:**

The main planning policies and guidance are considered to be

- 3.1 Denbighshire Local Development Plan (adopted 4<sup>th</sup> June 2013)

**Policy VOE1** - Key areas of importance

- 3.2 Supplementary Planning Guidance

Listed Buildings SPG

- 3.3 Government Policy / Guidance

Planning Policy Wales Edition 10 – December 2018

Technical Advice Note 24: The Historic Environment – May 2017

Planning (Listed Buildings and Conservation Areas) Act 1990

Historic Environment (Wales) Act 2016

## 4. **MAIN PLANNING CONSIDERATIONS:**

- 4.1 The main issues in relation to the application are considered to be:

- 4.1.1 Principle

- 4.1.2 Impact on Listed Building

- 4.2 In relation to the main planning considerations:

- 4.2.1 Principle

Local Development Plan Policy VOE1 seeks to protect sites of built heritage from development which would adversely affect them, and requires that development proposals should maintain and wherever possible enhance them for their characteristics, local distinctiveness and value to local communities.

Policy VOE1 reflects advice contained in Section 16(2) of the 1990 Act which states that:

“When considering any applications for listed building consent, the local planning authority or the Welsh Ministers must have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”.

Planning Policy Wales 10, Section 6 ‘Distinctive and Natural Places’ provides basic guidance on the considerations to be applied to listed buildings. It states: “There should be a general presumption in favour of the preservation of a listed building and its setting, which might extend beyond its curtilage. For any development proposal affecting a listed building or its setting, the primary material consideration is the statutory requirement to have special regard to the desirability of preserving the building, its setting or any features of special architectural or historic interest which it possesses. The aim should be to find the best way to protect and enhance the special qualities of listed buildings, retaining them in sustainable use. The continuation or reinstatement of the original use should generally be the first option, but not all original uses will now be viable or appropriate. The application of development and listed building controls should recognise the need for flexibility where new uses have to be considered in order to secure a building’s survival or provide it with a sound economic future.”

In terms of general guidance on matters relevant to the consideration of a Listed Building Consent, Planning Policy Wales confirms that there is no statutory requirement to have regard to the Local Development Plan when considering applications for listed building consent.

TAN 24 sets out the considerations to be given by the local planning authority to the determination of a listed building consent application:

- The importance and grade of the building and its intrinsic architectural or historic interest.
- The physical features of the building which justify its listing and contribute to its significance, (for example its form and layout, materials, construction and detail) including any features of importance such as the interior, which may have come to light after the building’s inclusion on the list.
- The contribution of curtilage and setting to the significance of the building, as well as its contribution to its local scene.
- The impact of the proposed works on the significance of the building.
- The extent to which the proposed works would bring substantial community benefits for example, by contributing to the area’s economy or the enhancement of its local environment.

Policy VOE 1 and the guidance in Planning Policy Wales and TAN 24 establishes that the principle of alterations and extensions to listed buildings may be acceptable, but that most careful consideration is given to the case made for the works and the particular detailing in reaching a decision.

The following section of the report provides an assessment of the merits of the submission in the above context.

#### 4.2.2 Impact on Listed Building

This section of the report provides commentary on the detailed considerations outlined above which need to be applied to this listed building consent application.

In terms of representations on the application, the Conservation Officer has no objection to the proposal on the basis of the revised plans submitted. CPAT and SPAB (who did not respond to the further consultation on the revised proposals) focus their primary concerns on the demolition of the ruined barn structure adjacent to the main building rather than having any specific issues in regard to the extension itself.

Having regard to the TAN 24 checklist:

- *The importance and grade of the building and its intrinsic architectural or historic interest.*

The building is grade II listed building, being listed on the basis of its special interest as a small late C18 or early C19 encroachment homestead in an isolated moorland location. It is considered that the extension proposal, as revised, has been designed to complement the intrinsic architectural or historic interest of the building.

- *The physical features of the building which justify its listing and contribute to its significance, (for example its form and layout, materials, construction and detail) including any features of importance such as the interior, which may have come to light after the building's inclusion on the list.*

The revised proposal has been designed to complement the physical features of the building that justify its listing and contribute to its historic significance.

- *The contribution of curtilage and setting to the significance of the building, as well as its contribution to its local scene.*

The proposed use of the curtilage associated with the building will remain as existing. Whilst the scheme also proposes the removal of the remainder of the ruined barn adjacent to the main building, it is feasible to utilise this base as part of the scheme, as confirmed by the agent, and on this basis it is not considered the proposal would have an adverse effect upon the curtilage and setting of the building.

- *The impact of the proposed works on the significance of the building.*

The listing describes the building being listed as a Late C18 or early C19 encroachment smallholding farmstead, built on the edge of the moors. It was not subject to any internal inspection at the time of its listing. The proposal is not considered to undermine the significance of the building and would safeguard its future.

- *The extent to which the proposed works would bring substantial community benefits for example, by contributing to the area's economy or the enhancement of its local environment.*

The proposal would have limited community benefits, but safeguarding its future would have wider long-term visual benefits.

Having regard to the detailing of the proposal, subject to the imposition of conditions, it is considered that the scheme would preserve the setting, features of special architectural merit and historic interest of the building. The revised plans submitted also address the initial points raised by the Conservation Officer, who is now satisfied with the scheme in all other respects.

The proposals are not therefore considered to have an unacceptable impact in relation to the character and appearance of the Listed Building and are recommended to be granted.

#### Other Matters

##### Well – being of Future Generations (Wales) Act 2015

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on the Council not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being)

objectives. The Act sets a requirement to demonstrate in relation to each application determined, how the development complies with the Act.

The report on this application has taken into account the requirements of Section 3 'Well-being duties on public bodies' and Section 5 'The Sustainable Development Principles' of the Well-being of Future Generations (Wales) Act 2015. The recommendation is made in accordance with the Act's sustainable development principle through its contribution towards Welsh Governments well-being objective of supporting safe, cohesive and resilient communities. It is therefore considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

## 5. SUMMARY AND CONCLUSIONS:

5.1 Having regard to the considerations relevant to a listed building consent application, it is concluded that the proposals would not have an unacceptable impact in relation to the Listed Building and are recommended for grant subject to:

- Referral to CADW to determine whether to authorise the County Council to grant consent.
- Inclusion of the following conditions:

## RECOMMENDATION:

### - GRANT LISTED BUILDING CONSENT subject to the following conditions:-

1. The works hereby permitted shall be begun no later than INSERT DATE

Reason: To comply with the provisions for the 1990 Listed Buildings Act

2. The development hereby permitted shall be carried out in strict accordance with details shown on the following submitted plans and documents unless specified as otherwise within any other condition pursuant to this consent:

- (i) Existing floor plan (Drawing No. 1) received 28 December 2018
- (ii) South elevation as existing (Drawing No. 2) received 28 December 2018
- (iii) North elevation as existing (Drawing No. 3) received 28 December 2018
- (iv) West and East elevation as existing (Drawing No. 4) received 28 December 2018
- (v) Roofplan as existing (Drawing No. 5) received 28 December 2018
- (vi) 3D view as existing (Drawing No. 6) received 28 December 2018
- (vii) Ruined structure adjacent to house (Drawing No. 7) received 28 December 2018
- (viii) Floor plan as proposed (Drawing No. 10v2) received 8 April 2019
- (ix) South elevation as proposed (Drawing No. 13v2) received 8 April 2019
- (x) North elevation as proposed (Drawing No. 14v2) received 8 April 2019
- (xi) West and East elevations as proposed (Drawing No. 15v2) received 8 April 2019
- (xii) Roof plan as proposed (Drawing No. 16v2) received 8 April 2019
- (xiii) Section through proposed extension (Drawing No. 17v2) received 8 April 2019
- (xiv) Log cabin as existing (Drawing No. 8) received 28 December 2018
- (xv) Kennels as existing (Drawing No. 9) received 28 December 2018
- (xvi) Treatment of existing fireplaces (Drawing No. 11v2) received 8 April 2019
- (xvii) Replacement sash windows as proposed (Drawing No. 12v2) received 8 April 2019
- (xviii) Rendered images of proposed extension (Drawing No. 20v2) received 8 April 2019
- (xix) Rendered images of proposed extension (Drawing No. 21v2) received 8 April 2019
- (xx) Rendered images of proposed ancillary building (Drawing No. 22v2) received 8 April 2019
- (xxi) Photographs of kennels and existing temporary shed (Drawing No. 23) received 8 April 2019
- (xxii) Interior photographs of Bwlch Du and details of repairs and alterations (Drawing No. 24v2) received 8 April 2019
- (xxiii) Indicative surface and foul water drainage plan (Drawing No. 25v2) received 8 April 2019
- (xxiv) New ancillary storage building as proposed (Drawing No. 18 V2) received 16 January 2019
- (xxv) General arrangement of buildings, landscaping and amenity areas (Drawing No. 19v2) received 8 April 2019
- (xxvi) Block/site plan received 16 January 2019
- (xxvii) Location plan received 16 January 2019

Reason: For the avoidance of doubt and to ensure a satisfactory standard of development.

3. Notwithstanding the submitted plans, no works on the listed buildings shall be permitted to commence until the written approval of the Local Planning Authority has been obtained to plans detailing the treatment of the ruined barn footprint adjacent to the southern elevation of the listed building, indicating its retention and future use as a raised patio area with appropriate detailing. The approved works shall be completed prior to any occupation of the main building.

Reason: For the avoidance of doubt, and in the interests of the setting and appearance of the listed building.

**NOTES TO APPLICANT:**

You are reminded that the determination relates solely to matters relevant to listed building consent considerations, and does not convey any planning permission which may be required in connection with the proposals.